

BAYVIEW VILLAGE NORTH DEVELOPMENT **CONSTRUCTION MITIGATION AND TENANT** **COMMUNICATION PLAN**



September 3, 2024

QuadReal Property Group



GENERAL, PROJECT SAFETY & SECURITY

1.1 Project Description

The Construction Mitigation and Tenant Communication Plan (“CMTCP”) addresses the construction of the project located at 2901 Bayview Avenue in the City of Toronto, Canada (hereby known as “Bayview Village”). Part of the purpose of this CMTCP is to minimize negative traffic impacts and public safety hazards caused by the construction, and to establish a mechanism by which communication with the local residents, tenants and patrons is handled.

The Project consists of the development of a 3-level underground parking garage, two 7-level mixed-use buildings, a retail expansion to the north of the existing mall and a 22-storey residential tower.

The scope of work covered by this CMP includes but is not limited to demolition, excavation, below grade and above ground structure, building envelope, interior finishes, site servicing, landscaping, and traffic management.

1.2 Owner Details

Company	c/o QuadReal Property Group (“Ownership”)
Address	199 Bay Street, suite 4900, Toronto, ON, M5L 1G2

1.5 Construction Safety, Security and Access

Construction safety is a top priority on the site. Full time on-site Supervision and safety management will be provided by the CM, and when required, with assistance from a 3rd party safety consultant. After hours, including weekends and statutory holidays shall be managed by the existing on-site mall security guards to deter public access, theft and damage.

Signage shall be posted at all site access points and as required, indicating that visitors must check in at the site office; identify the area as a 'construction site' requiring all visitors be equipped with personal protection equipment suitable for a construction zone (hard hat, footwear, high visibility gear) and identify that access to the site is limited to authorized personnel only.

All employees and trade contractors that will work on site will be required to complete an on-site safety orientation session. Access to the site is restricted to construction personnel only and all site workers will be provided with a pre-numbered sticker which must be adhered to their hard hat indicating they have completed the site safety training. In addition, all Contractors must submit their Registration Form 1000, WSIB Certificate, current insurance policy, safety program & procedures prior to mobilization to the site. A copy of their safety program will be kept at the Site Office. A Joint Health and Safety Committee (JHSC) will be created pursuant to Occupational Health and Safety (OHS) regulation and have regular meetings with a representative of the CM. The CM will also conduct its own internal safety audit conducted by the CM safety representative.

The Construction Manager will provide and implement their respective COVID safety plan and include all necessary health & safety protocols associated with that plan.

All vendors and visitors will not be allowed on site unescorted and must sign in and out at the CM's site office.

Security on the site will be established for each Phase of work through the use of perimeter hoarding and fencing as provided for in Schedule B - Construction Management Plans.

Construction and personnel gates shall be provided at locations where access will be required and shall be kept locked during non-working hours. Construction area lighting shall be provided in accordance with Occupational Health and Safety Act (OSHA) requirements for safety and security.

1.6 Fire and Emergency Access

Fire and emergency access will not be interrupted during the construction phase of this project. The west entrance from the northwest off of Bayview Mews Lane will provide access to the existing retail for public and emergency access.

1.7 Hours of Construction

The Project will undertake construction activities between 7:00AM and 7:00PM on weekdays; 9:00AM to 7:00PM on Saturday as per City of Toronto by-law. No work shall take place on Sundays and all statutory holidays.

Start-up and warm-up of equipment will not commence until after 7:00 AM. If it is determined that there will be a need for construction activity outside these hours, the CM will coordinate and obtain approval from City of Toronto and provide communication of the same to the tenants and local community.

1.8 Tenant & Community Contact/Communication

a) One or more individuals from the Ownership/Property Management and the CM will be designated to serve as the Project's Community liaison. These individuals will meet directly with the Community as required. These individuals work directly for the Owner or CM to achieve the harmonious implementation of construction activities and to resolve any issues that may arise. In addition, the Project will establish a communications plan with the following components:

- Routine Contact: The CM project team will be able to answer and/or route questions related to construction activities during business hours
- Emergency contacts: Contact information (phone number and e-mail address) will be provided to designated Residents, Tenants and Community representative(s) from members of the project team who are to be available for inquiries 24-hours a day in the case of emergency. This list and updates to it will be provided to City Agencies including the Police Department, Fire Department, and Public Works.
- After-hours Contact Procedures: Instructions for the general public in case of an after- hours emergency - Emergency contact information shall be posted in the CM's Site Office and around the site, posted on the provided hoarding to be clearly visible to both construction personnel and bystanders/general public.

b) Communication Protocol During Construction:

The CM shall provide a Construction Bulletin (see example as Schedule C) on a monthly basis via email to the Owner Contact for further distribution to Tenants and Community for any work during the Construction process that is to take place that has: (i) an impact to local area traffic, (ii) causes excess noise or dust or (iii) any other significant disruptive activities at the Site. In the Construction Bulletin, the CM shall provide a description and duration of the planned work/activity, mitigation measures designed to address the disruptive nature of the activity and shall also include a site plan or diagram that depicts the activity (i.e. for a large delivery that impacts traffic, a site plan showing where trucks will be lined up, the hours and/or days of such activity, where flagmen will be located, how trucks will access/egress from the site).

The Construction Bulletin shall be provided by the CM and distributed as described above every Friday morning prior to the upcoming Monday so the Site activities of the upcoming week are fully communicated in advance of the work.

1.9 Temporary Power

Construction power is to be provided from a single source, subject to available capacity. The installation of the temporary construction power supply shall commence as early as possible to minimize the need for generators. The final temporary distribution and service needs for the three buildings, and retail expansion will be determined at a later date.

1.10 Construction Process

1.10.1 The following identifies measures that will be taken to control dust during soil excavation activities.

- On regular basis as required, wetting of all soft and hard surfaces and any excavation face on the site, with the addition of calcium chloride or other recognized materials as a dust suppressant, if required.
- Designated truck loading points will be on the site contained within the Project property hoarding to avoid trucks tracking soil off site. Loading points will be on a gravel base to minimize tracking of soil onto the mall parking lot.
- The final logistic plan for the excavation and demolition construction traffic will be determined once we have a signed contract with the trade.

1.10.2 Demolition, Geothermal Drilling, Shoring and Excavation

Important demolition and excavation activities which will be undertaken as part of the works are as follows:

- Cutting and removal of existing site finishes within the footprint of the future parkade and along the routing of the new underground services.
- Demolition of the existing specific facilities will involve construction hoarding within the corridor of the mall to execute the work. This will result in a narrowing of the east side of the corridor.
- Drilling for geothermal purposes would employ same dust control measures and street maintenance as those taken during the other earth works portion of the work.
- The demolition of the existing LCBO/GAP will be coordinated with the requirements to install the weather wall and associated mall corridor partitions that will segregate the construction activities from that of the mall operations.
- Dust and mud control by using hoses, water trucks;
- Mud Mat at the vehicle exits;
- Street sweeping when required to control any dust, mud and/or debris;
- Flagmen for traffic management for trucks entering & leaving the site; and
- Establishment of sedimentation and environmental controls to the site and surrounding storm water systems.

1.10.3 Construction of the Structure

Construction will be typical residential tower work progression. Below grade building foundations for the 3 levels of parking, followed by super structure construction. As construction progresses out of the ground, the excavation and hauling work subsides and the swapping of hauling trucks for rebar and concrete delivery trucks begin. Refer to the traffic management plan for access routes around the Project site.

The retail expansion, being structural steel will be coordinated closely with the above-grade low rise structure cast-in-place sequence. This work will also be closely coordinated with Quadreal's management team and their mall representatives to ensure we have all the appropriate tie-in notifications and safety requirements.

1.10.4 Interior and Exterior Finishing

Interior finishing will commence as per construction schedule and bears no little impact on the function of the operating mall.

1.10.5 Crane and Hoist Operation

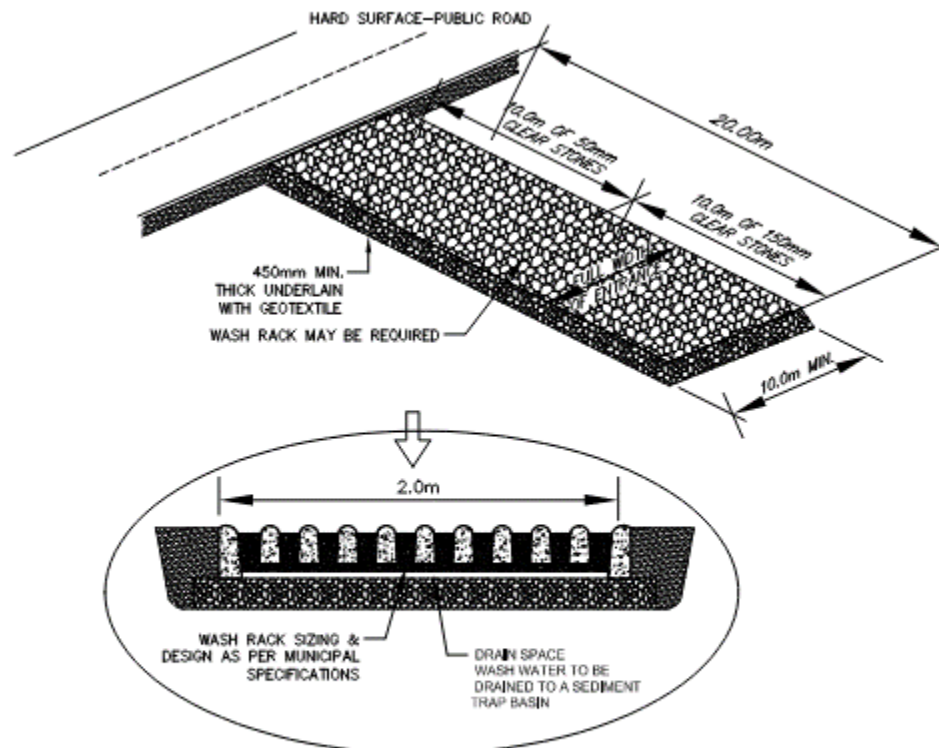
Craneage for the project will be as per the provided construction management plan (See attached Appendix B). All major/critical lifts will be laid out in a Hoisting Plan that will be formulated by the relevant trade in conjunction with the CM and then reviewed with the Owner/Property Manager.

2. NOISE, DUST AND VIBRATION CONTROL

2.1 Dust and Mud Control

During excavation and shoring, a mud mat will be installed at all operational gates before entering the construction site. Trucks will be cleaned of mud, as necessary, prior to leaving the site. Street flushing and sweeping will be provided as needed and to the satisfaction of the City of Toronto and T.R.C.A. A dust control plan will be provided prior to construction illustrating methodology and protection measures.

Sample diagram of how mud mats could be constructed:



MUD MAT FOR TEMPORARY CONSTRUCTION ACCESS ROAD DETAIL

N T S

1. Geotextile is to be placed over the entire area prior to stone placement.
2. Maintenance – exit shall be maintained in a condition which will reduce tracking or flowing of sediment onto the road and granular material is to be replaced as warranted or directed by the transportation and works department of the City of Toronto.

2.2 Emissions and Air Quality Control

The CM will implement a Construction Air Quality/Dust Control program to minimize the effects of the construction activities on air quality.

Below is a list of management practices that will be employed on site on an as needed basis:

- Monitoring of dust and dust control within the active work areas;
- Silt fencing shall be used to prevent erosion and silt from entering catch basins or from migrating onto adjacent properties or streets;
- Use of water spray, as appropriate, during any building demolitions and excavation;
- Existing or new catch basins shall be protected from sediment as indicated in the diagram below (see section 5.1);
- Inspection and cleaning of catch basins on a regular basis;
- Windscreens atop construction fences of durable mesh material or other effective material shall be used along areas bordering the shopping centre and pedestrian walkways.

2.3 Noise

Construction noise impacts are related to the intensity of the noise sources and their distance from sensitive receptors. All construction activities on the site shall be conducted in compliance with Chapter 591 City of Toronto Municipal Code.

The CM will work to minimize any excessive noise impacts. The CM will employ the following best management practices on site and make every effort to prevent nuisance noise conditions:

- Work will comply with noise by-laws;
- The use of truck and equipment mufflers, including periodic inspections to ensure proper operation;
- Low-pitch back-up alarms;
- Limited truck or equipment idling;
- Provide power grid temporary electric to minimize use of onsite generators; and
- Smooth surfaces, except for the mud mat, on construction site and public ways to minimize unnecessary noise from potholes or irregularities.
- Identify in advance activities that may generate unavoidable excessive noise and use all reasonable efforts to minimize noise emission levels.

2.4 Vibration

A vibration monitoring control program will be implemented during the shoring works. When this work commences, all tenants will be provided notice, and any drilling or caisson work vibrations will be monitored based on regulations.

3. TRAFFIC MANAGEMENT

3.1 Traffic Maintenance Plan

The CM has prepared a construction management plan (See Schedule B), covering each phase of construction which address gate locations for construction traffic into the Project, temporary construction fence locations at the perimeter of the job site, logistics within the job site, an exit strategy plan for the existing buildings interface with the construction area.

A Traffic Management Plan (by others) is currently under development and will be provided and included within the CMTCP prior to any construction works (see draft plan attached).

3.2 Construction Trailer, Materials Storage and Waste Management

A construction field office and material storage area will be set up within the site. The office will be equipped with power, phone, computers, and will serve the Project during construction. Temporary toilet facilities will be provided on site for workers. All facilities will be located in the prescribed locations as per Schedule B.

3.3 Delivery Times and Loading Areas

Deliveries will only be allowed between the hours of 7:00 AM and 6:00 pm on weekdays. In addition, there will be no queuing, marshalling, or storage of construction trucks in the surrounding residential neighborhoods. All deliveries shall be coordinated with the site staff prior to actual delivery.

All required flagmen will be provided by the CM to facilitate all incoming and outgoing major deliveries.

3.4 Police Detail

Will not be required for this project, unless a Contractor requires mobilization of equipment to reach the project site.

3.5 Worker Access and Parking

Worker parking has been yet to be confirmed. Once confirmed, a designated parking area to be communicated with mall operations will be provided.

3.6 Pedestrian Access

The CM will implement necessary measures to ensure safe pedestrian exit flow from the existing CRUs and from the Starbucks/Loblaws parking structure. This will include the use of temporary sidewalks, lighting, protective barriers, overhead

protection, and redirection of pedestrians/ directional signals as required.

4. WASTE MANAGEMENT

4.1 General Waste Management

Measures to improve the minimization of waste include:

- Selections of reputable waste removal contractors with sorting facilities who will ensure that appropriate material are recycled and fully documented; and
- Earth excavated from site will be removed from site, the clean fill would be sent to be reused at an alternate fill site. Contaminated soil would be addressed per MOE requirements.

A waste management plan will be implemented with all contractors required to follow as such. This plan includes:

- Order the correct quantities of materials;
- Reuse formwork, where possible;
- Co-ordinate and sequence trades people to minimize waste; and
- Minimize and/or reuse packaging of materials brought to site.
- Toronto Green Standards guidelines will be followed as required.

4.2 Removal/Disposal of Excavated and Demolished Material

All demolished or excavated materials will be removed off site and disposed of by the relevant trade contractor in accordance with provincial regulations.

4.3 Concrete Waste

The disposal of waste concrete excess to specific pour needs shall be conveyed to a contained onsite washout location to be agreed with the Owner and consulting Team.

4.4 Rodent Control

The CM will develop a procedure for pest management/rodent control as it relates to the construction limits to minimize the attraction of pests to the Project which may include the following:

- Use heavy duty refuse containers with fitting lids; and
- Maintain construction and staging areas free of trash and garbage. Provide and enforce proper use of refuse containers to ensure that rodents and other pests are not harboured or attracted.
- Designate specific locations as lunch and coffee break areas to prevent random disposal of garbage and trash. Keep those areas free of litter and garbage and provide refuse containers.
- Consult a pest control company for trap devices and strategic placing for pest capture and removal.

4.5 Construction Waste Management

A licensed waste hauler will be used for disposal of all waste. The CM shall maintain the Project in a clean and orderly manner and free from accumulation of waste materials or rubbish.

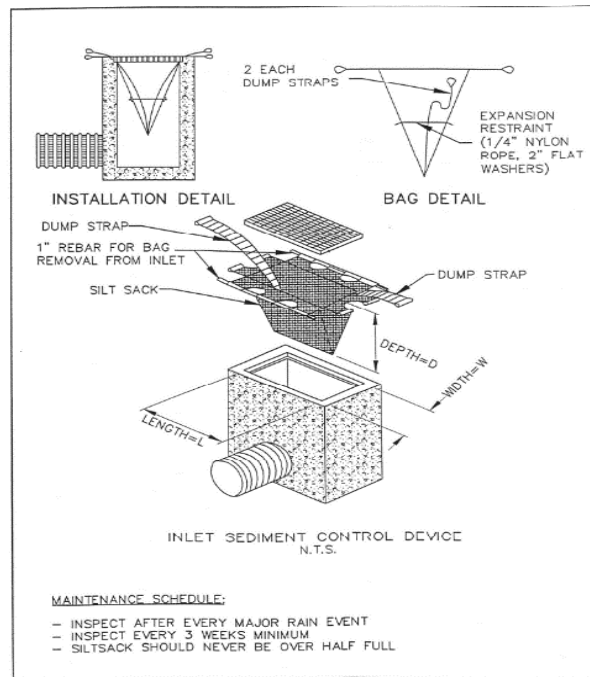
5. ENVIRONMENTAL MANAGEMENT

5.1 Erosion and Sediment Control

The following erosion and sediment control measures are in accordance with GTA Conservation Authorities Erosion and Sediment Control Guidelines for Urban Construction, City of Toronto and TRCA.

- All hoarding and sediment controls are to be erected prior to the commencement of any earth work operations. Geotextile will be installed on the hoarding only as directed by the geotechnical engineer. It is proposed to grade the site edges towards the excavation to ensure containment of surface runoff.
- All catch basins within landscaped areas to have sediment barrier type "B" erected immediately after catch basin installation sediment protection barrier to be maintained on a regular basis or to the satisfaction of the City of Toronto and TRCA

Diagram of Roadway Catch Basin sediment control device:



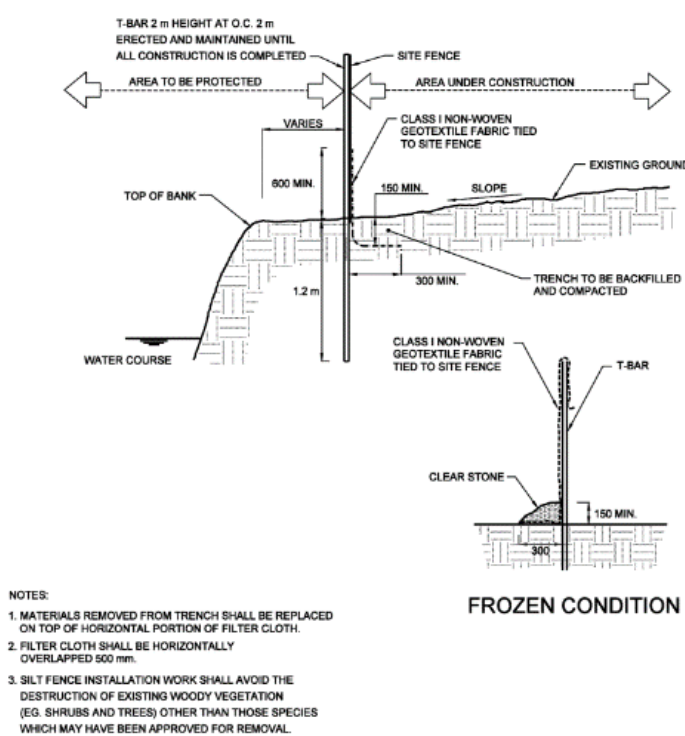
SEDIMENT TRAP DETAIL FOR
ROAD CATCHBASIN
N.T.S.

- All roadside catch basins adjacent to the site on private and public roads to have sediment protection as per sediment barrier type "A" installed immediately after catch basin installation. Sediment protection barrier to be maintained on a regular basis or to the satisfaction of the City of Toronto and TRCA

NOTES:

1. To be used under appropriate drainage circumstances between April and December.
 2. Woven geotextile to have a minimum equivalent opening size of 0.15mm and a maximum equivalent opening size of 0.25mm or a nonwoven geotextile to be considered based on soil parameters and site conditions.
 3. Geotextile to be replaced periodically when accumulated sediments interferes with drainage, or as directed by the municipality and/or conservation authority.
-
- Hoarding will assist in the prevention of dust migration but it is the responsibility of the CM to ensure that appropriate measures be taken to control dust at source, such as the use of water.
 - If site construction activities are interrupted and/or inactivity exceeds 30 days, all stripped and/or bare soil areas are to be stabilized by sodding/seeding/mulching or other approved method, to the satisfaction of the City of Toronto.
 - All erosion and sediment control are to be regularly inspected and maintained, as required, to the satisfaction of The City of Toronto and TRCA
 - During all construction phases, dust and mud tracking control consisting of flushing and sweeping roads, is to be provided for all roads by the Owner and/or CM as warranted to the satisfaction of The City of Toronto and TRCA trucks will be cleaned of mud as necessary prior to leaving the site.
 - All storm water accumulations to be drained to one or more catchment sump areas and to be filtered using geotextile wrapped 50 mm clear stone around the pump assembly. Clean water can be pumped to a storm outlet approved by the City of Toronto and TRCA (This includes existing site service).

Diagram of proposed Sediment Control Fence around perimeter fencing:



*Subject to change pending existing conditions

5.2 Water Quality Control

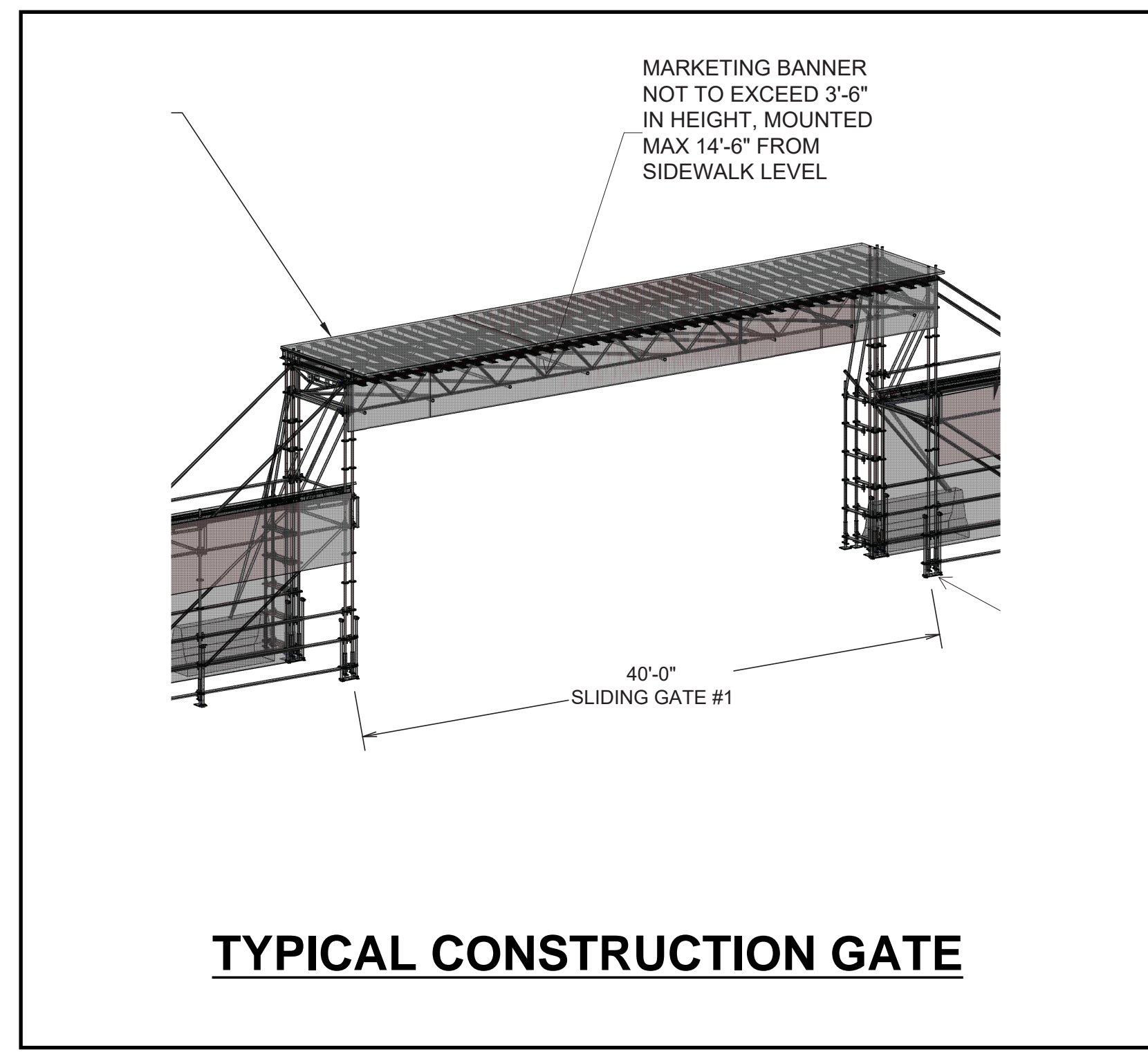
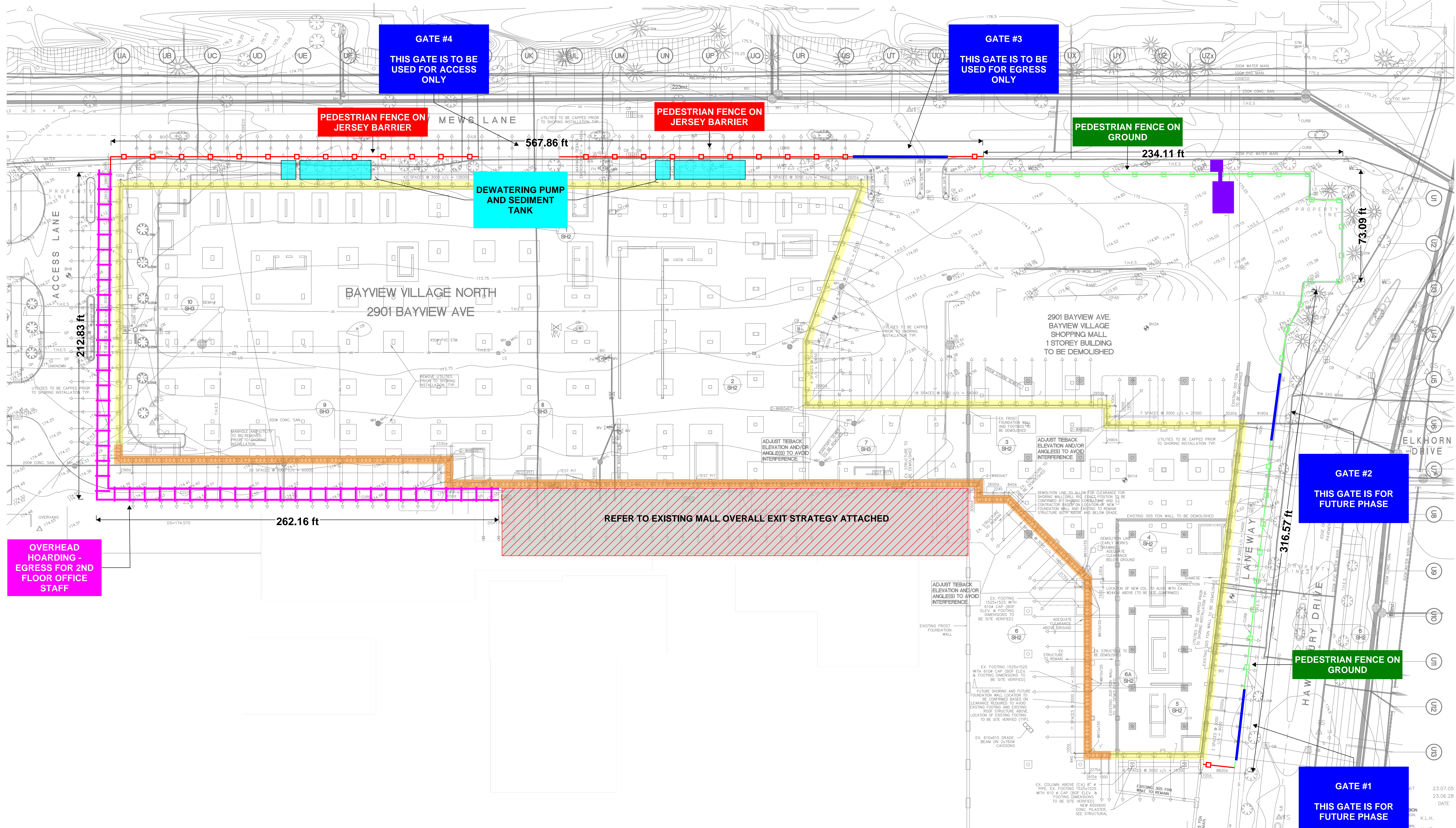
During construction and up to the completion of the final storm water system, ground and surface water will be discharged to the city sanitary system. A discharge and/or Permit To Take Water (PTTW) may be required in order to do so.

5.3 Tree Protection

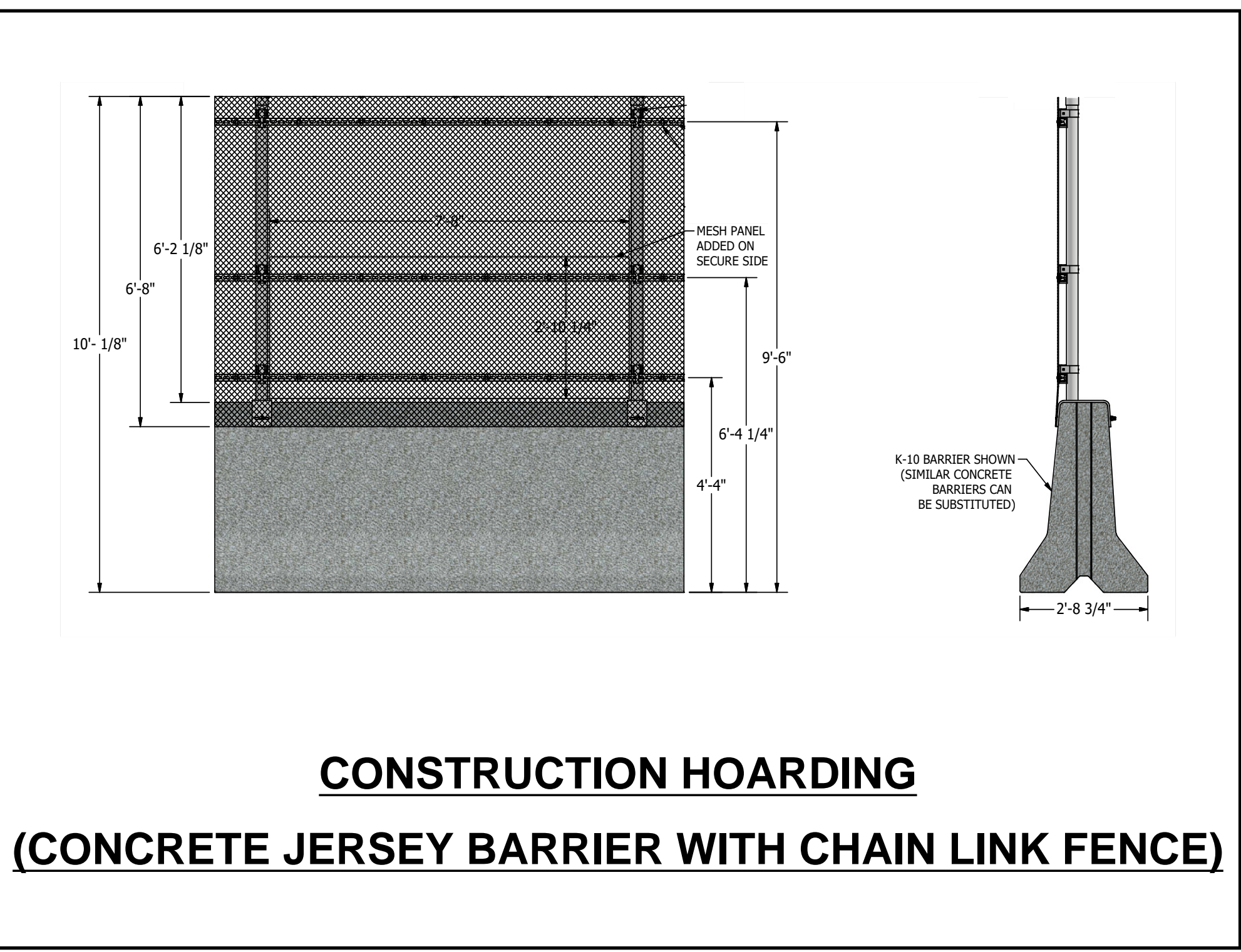
Any existing trees within or adjacent to the worksite will be protected in accordance with the requirements set forth as a condition of the building permit, in conjunction with the arborist report.

SCHEDULE B – CONSTRUCTION
MANAGEMENT PLANS

BAYVIEW NORTH DEVELOPMENT PROJECT - CONSTRUCTION LOGISTICS



TYPICAL CONSTRUCTION GATE

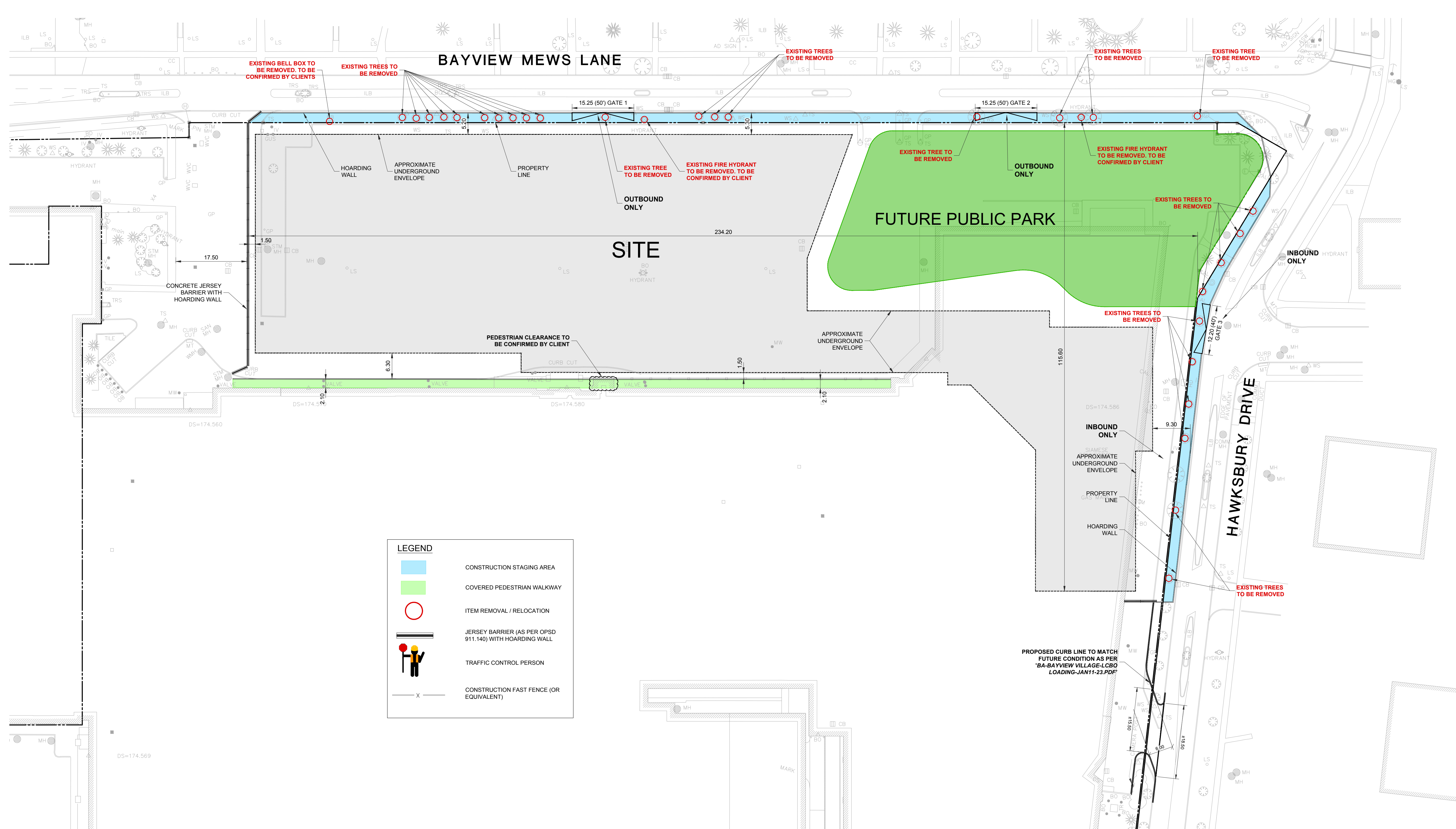


**CONSTRUCTION HOARDING
(CONCRETE JERSEY BARRIER WITH CHAIN LINK FENCE)**

DATE: 23.07.05
 DATE: 23.06.28
 DATE: 22.04.11
 DATE: 23.12.04

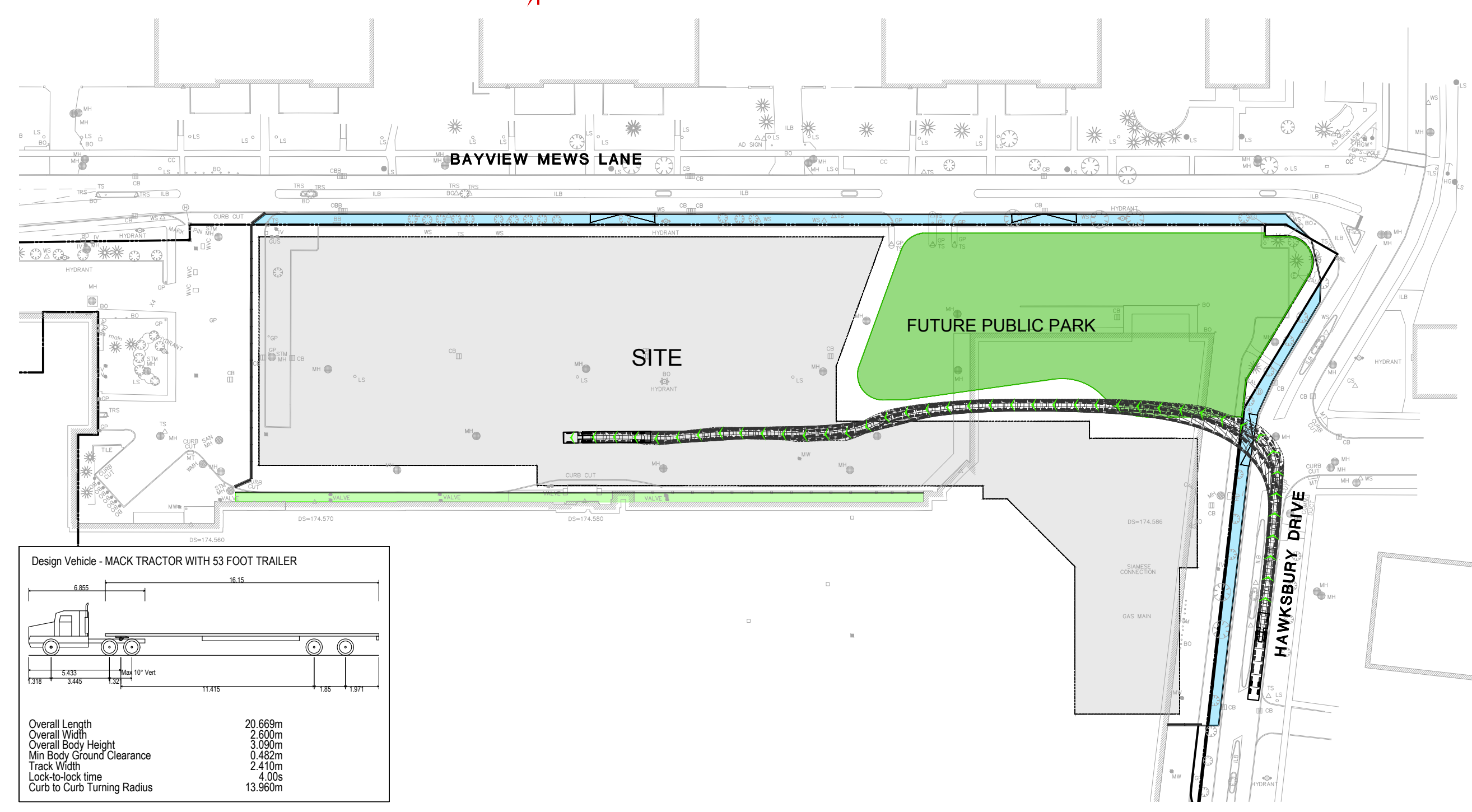
BAYVIEW VILLAGE NORTH
 2901 BAYVIEW AVE.
 TORONTO ONTARIO
 EXCAVATION SHORING
 PLAN

JOB NO. 19.045 D.W.C. NO. SH1

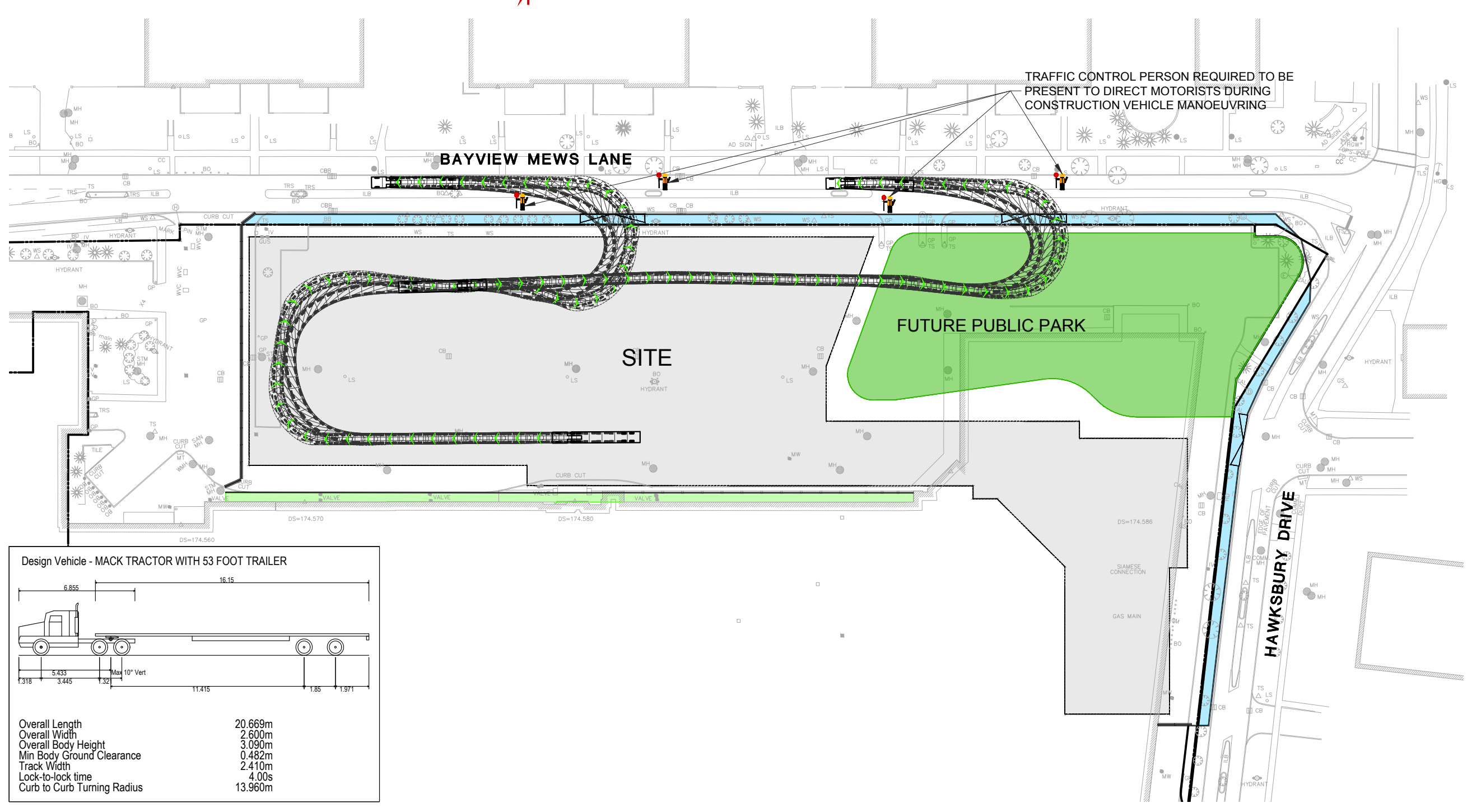


- GENERAL NOTES**
- BASE SURVEY PLAN PREPARED WITH THE FOLLOWING DRAWINGS:
 - SURVEY DRAWING 2885 OF DATED JUNE 1, 2011 COMPLETED BY R. AVIS SURVEYING INC.
 - THE LOCATION AND EXTENT OF ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE CONSIDERED APPROXIMATE ONLY. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CONFIRM THE LOCATION OF UTILITIES AND BE RESPONSIBLE FOR ADEQUATE PROTECTION FROM DAMAGE DURING CONSTRUCTION.
 - ALL WORK TO CONFORM TO THE APPLICABLE MUNICIPALITIES' STANDARDS, UNIFORM PROVISIONAL STANDARDS AND SPECIFICATIONS AND ALL OTHER RELEVANT CODES, STANDARDS, GUIDELINES, ETC.
 - ALL WORK TO BE CARRIED OUT IN COMPLIANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT AND THE MINISTRY OF TRANSPORTATION ROADSIDE SAFETY MANUAL.
 - EXISTING DRAINAGE PATTERNS TO BE MAINTAINED.
 - NOISE LEVELS SHALL BE KEPT IN ACCORDANCE WITH THE APPLICABLE MUNICIPALITIES' BY LAWS AND REGULATIONS.
 - PEDESTRIAN WALKWAY TO BE KEPT CLEAR OF OBSTRUCTIONS AT ALL TIMES.
 - CONSTRUCTION ZONE TO HAVE SUPPLEMENTARY REPLACEMENT STREET & PEDESTRIAN LIGHTING (REQUIREMENTS TO BE DETERMINED BY THE CITY OF TORONTO).
 - ALL TRAFFIC SIGNALS & POLES, TRAFFIC CONTROLLERS, LIGHT STANDARDS, UTILITY POLES, SIGN POSTS, STREET FURNITURE, PIPE BARRIERS, TRAFFIC PARKING CONTROL, SIGNAGE, REMOVAL/RELOCATION/REPLACEMENT SHALL BE BY THE APPLICABLE MUNICIPALITY OR APPROPRIATE UTILITY COMPANY/TRANSPORTATION AUTHORITY.
 - CROSS SECTION ITEMS, INCLUDING BUT NOT LIMITED TO, COVERED WALKWAY ARE FOR ILLUSTRATIVE PURPOSES ONLY. DETAILED DESIGN OF THESE ITEMS TO BE DESIGNED BY OTHERS.
- EROSION & SEDIMENT CONTROL NOTES**
- ALL CONSTRUCTION FENCING WILL BE LINED WITH A SILT FENCE TO ALLOW WATER PASSAGE AND RESTRICT SILT AND/OR SOIL COMPOUNDS, TO LIMIT THE AMOUNT OF DIRT LEAVING THE SITE.
 - MUD MATS WILL BE POSITIONED AT ALL CONSTRUCTION ACCESS POINTS, TO LIMIT THE AMOUNT OF DIRT LEAVING THE SITE.
 - ALL EXISTING AND PROPOSED CATCH BASINS WITHIN THE SITE AND WITHIN THE PUBLIC RIGHT-OF-WAYS, ADJACENT TO THE SITE ARE TO BE EQUIPPED WITH MUD SEDIMENT CONTROL TRAPS.
 - THE DEWATERING PROCESS WILL INVOLVE A LICENSED CONTRACTOR AND WILL CONFORM TO MINISTRY OF ENVIRONMENT GUIDELINES AND REGULATIONS.
 - ALL REMOVAL, DISPOSAL OF EXCAVATION AND DEMOLITION MATERIALS WILL BE TRANSPORTED TO LICENSED DUMP STATION AS PER MINISTRY OF ENVIRONMENT GUIDELINES AND REGULATIONS.
 - SCHEDULED STREET MAINTENANCE ALONG THE LOCAL STREETS SURROUNDING THE DEVELOPMENT SITE WILL BE PROVIDED DURING THE CONSTRUCTION PERIOD.

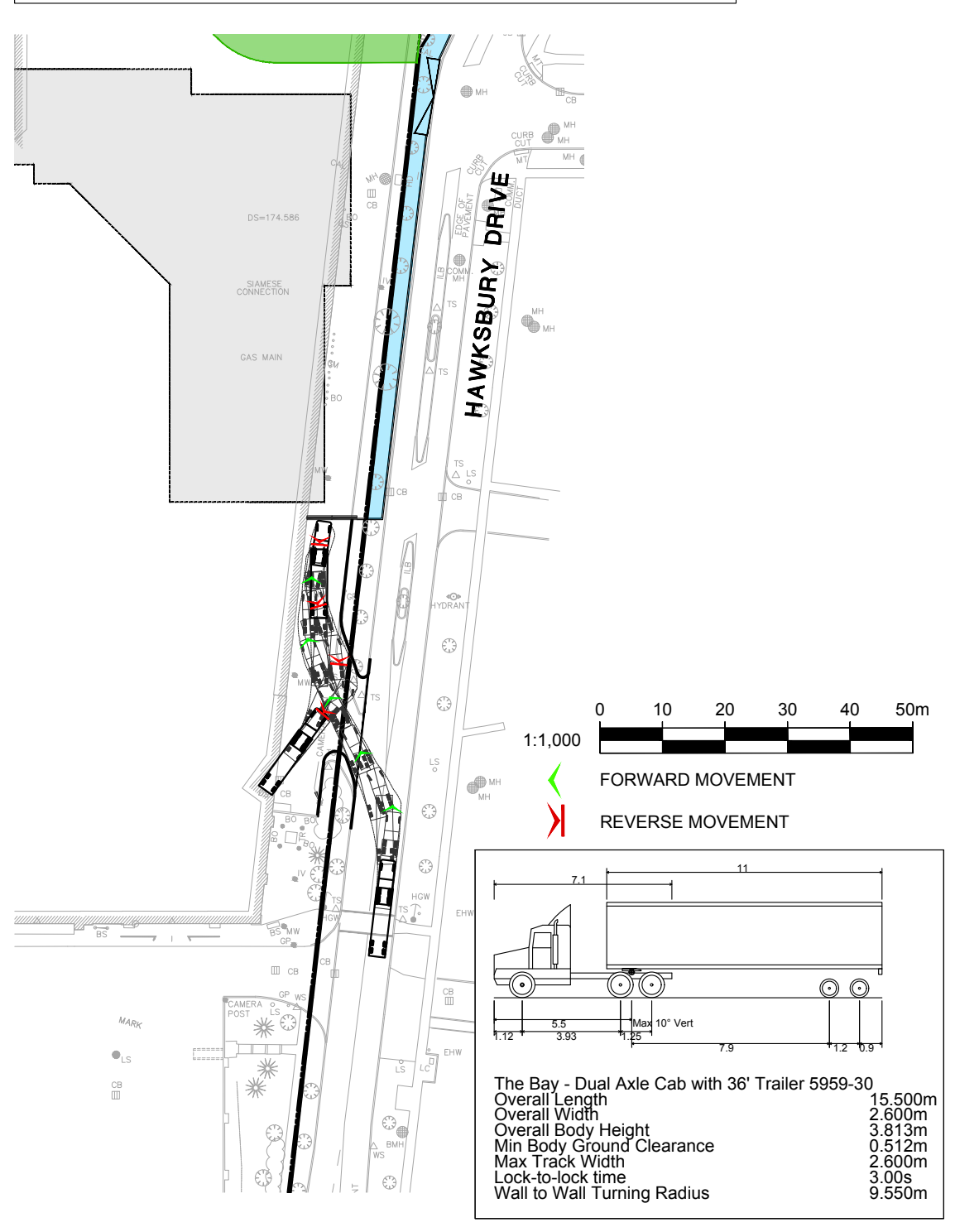
TRACTOR TRAILER MOVEMENT INBOUND



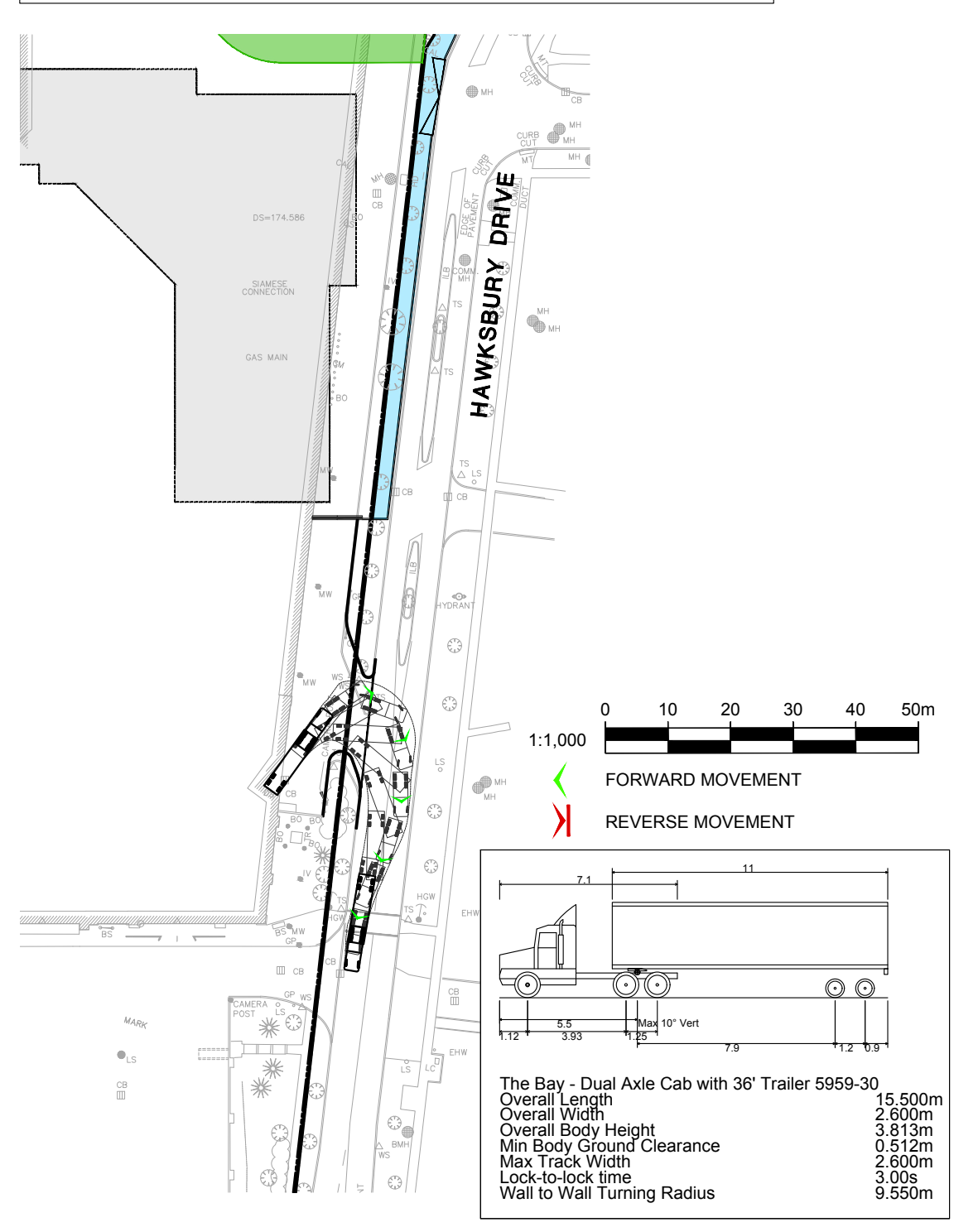
TRACTOR TRAILER MOVEMENT OUTBOUND



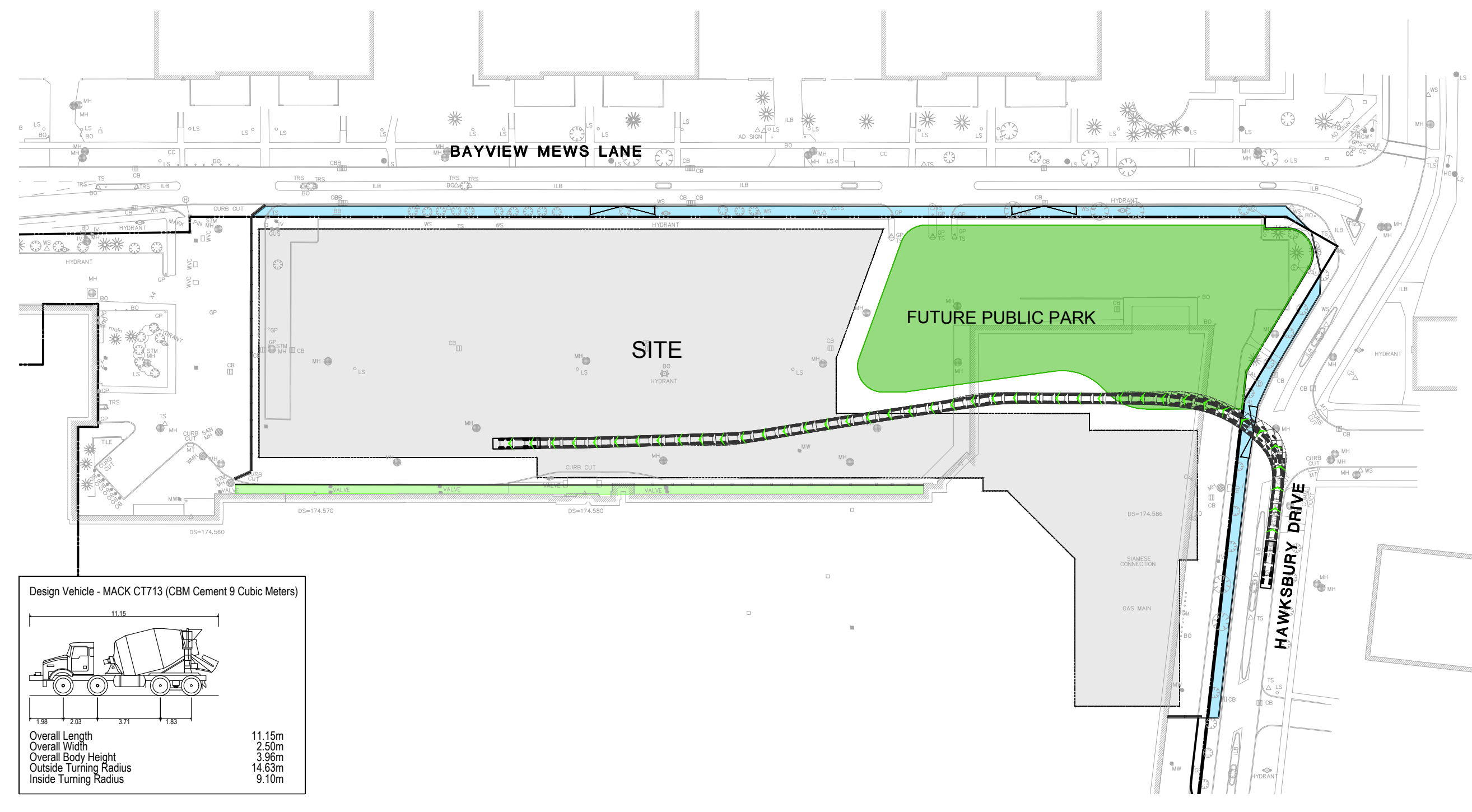
TRACTOR TRAILER MOVEMENT INBOUND - 36' - LCBO LOADING



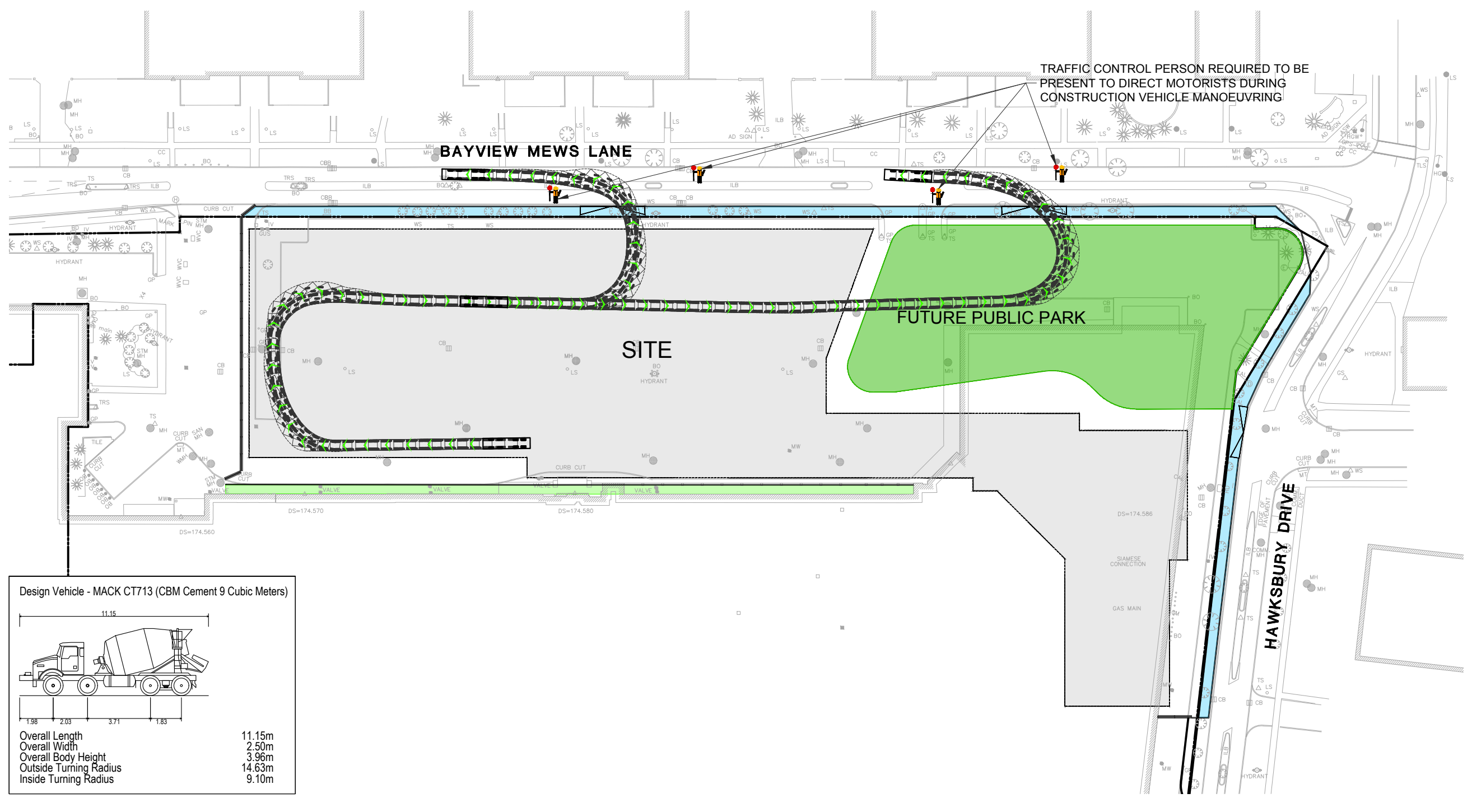
TRACTOR TRAILER MOVEMENT OUTBOUND - 36' - LCBO LOADING



CONCRETE TRUCK MOVEMENT INBOUND



CONCRETE TRUCK MOVEMENT OUTBOUND



PRELIMINARY DRAFT
FOR DISCUSSION PURPOSES ONLY

- 01:24:24 RPM ISSUED TO CLIENT FOR REVIEW
- 12:19:23 RPM ISSUED TO CLIENT FOR PRELIMINARY REVIEW
- 00:MR:DD:YR INT REVISION NOTE

THIS CONSTRUCTION MANAGEMENT PLAN AND CONTAINED CONSTRUCTION LOGISTICS ARE PRELIMINARY AND SUBJECT TO CHANGE. THIS PLAN IS INTENDED TO SUPPORT THE PLANNING PROCESS OF RE-ZONING AND/OR SITE PLAN APPLICATION, NOT THE PERMIT APPLICATION FOR RIGHT-OF-WAY OCCUPANCY.

BA Group

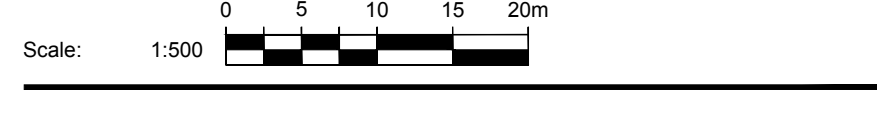
1000 Bay Street, Suite 1000
Toronto, ON M5G 1A5
Tel: 416 961 2110
www.bagroup.com

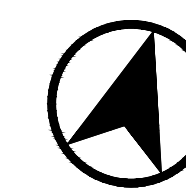
BAYVIEW VILLAGE REDEVELOPMENT

CONSTRUCTION MANAGEMENT PLAN

SHORING, GEOTHERMAL & DEMOLITION WORKS

Date: DECEMBER 19, 2023
Project No.: 7843-27





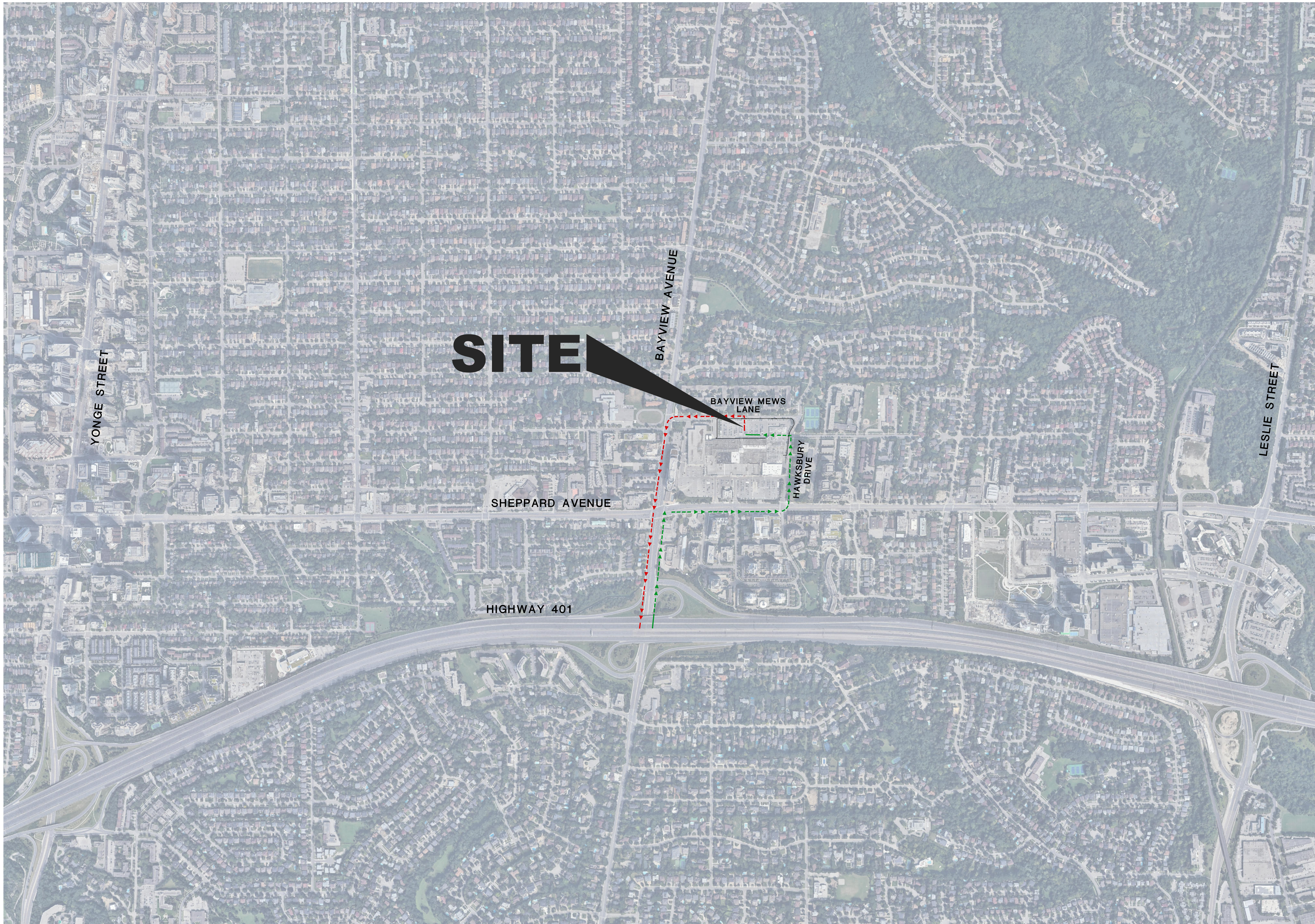
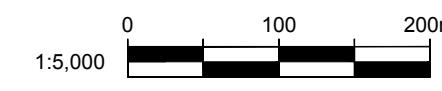
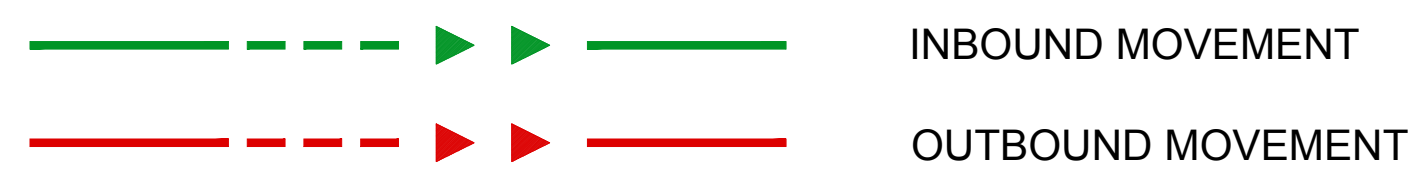
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1. ALL CONSTRUCTION FENCING WILL BE LINED WITH A SILT FENCE TO ALLOW WATER PASSAGE AND RESTRICT SILT AND/OR SOIL COMPOUNDS TO LIMIT THE AMOUNT OF DIRT LEAVING THE SITE.
2. MUD MATS WILL BE POSITIONED AT ALL CONSTRUCTION ACCESS POINTS.
3. ALL EXISTING AND PROPOSED CATCHBASINS WITHIN THE SITE AND WITHIN THE PUBLIC RIGHT-OF-WAYS, ADJACENT TO THE SITE ARE TO BE EQUIPPED WITH MUD SEDIMENT CONTROL TRAPS.
4. THE DEWATERING PROCESS WILL INVOLVE A LICENSED CONTRACTOR AND WILL CONFORM TO MINISTRY OF ENVIRONMENT GUIDELINES AND REGULATIONS.
5. ALL REMOVAL, DISPOSAL OF EXCAVATION AND DEMOLITION MATERIALS WILL BE TRANSPORTED TO LICENSED DUMP STATION AS PER MINISTRY OF ENVIRONMENT GUIDELINES AND REGULATIONS.
6. SCHEDULED STREET MAINTENANCE ALONG THE LOCAL STREETS SURROUNDING THE DEVELOPMENT SITE WILL BE PROVIDED DURING THE CONSTRUCTION PERIOD.

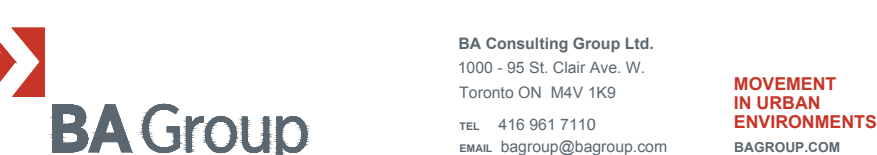
POTENTIAL TRUCK ROUTE



**PRELIMINARY
DRAFT**
FOR DISCUSSION
PURPOSES ONLY

01	01-24-24	RPM	ISSUED TO CLIENT FOR REVIEW
00	12-19-23	RPM	ISSUED TO CLIENT FOR PRELIMINARY REVIEW
00	MM-DD-YR	INT	REVISION NOTE

THIS CONSTRUCTION MANAGEMENT PLAN AND CONTAINED CONSTRUCTION LOGISTICS ARE PRELIMINARY AND SUBJECT TO CHANGE. THIS PLAN IS INTENDED TO SUPPORT THE PLANNING PROCESS OF RE-ZONING AND/OR SITE PLAN APPLICATION, NOT THE PERMIT APPLICATION FOR RIGHT-OF-WAY OCCUPANCY.



**BAYVIEW VILLAGE
REDEVELOPMENT**

**CONSTRUCTION MANAGEMENT
PLAN**

**SHORING, GEOTHERMAL & DEMOLITION
WORKS**

Date: DECEMBER 19, 2023

Project No.: 7843-27



Scale: 1:5,000

CMP-1B